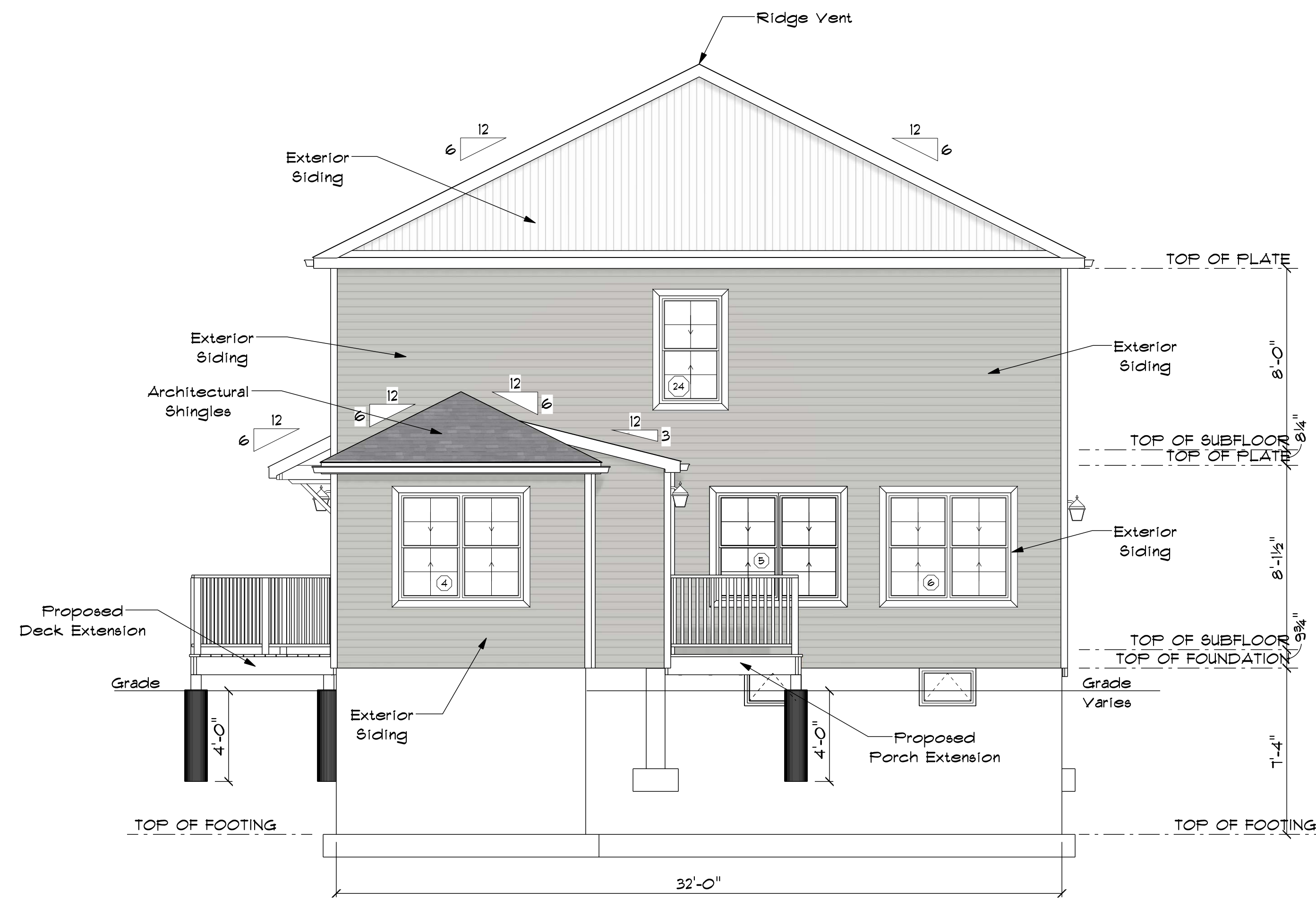


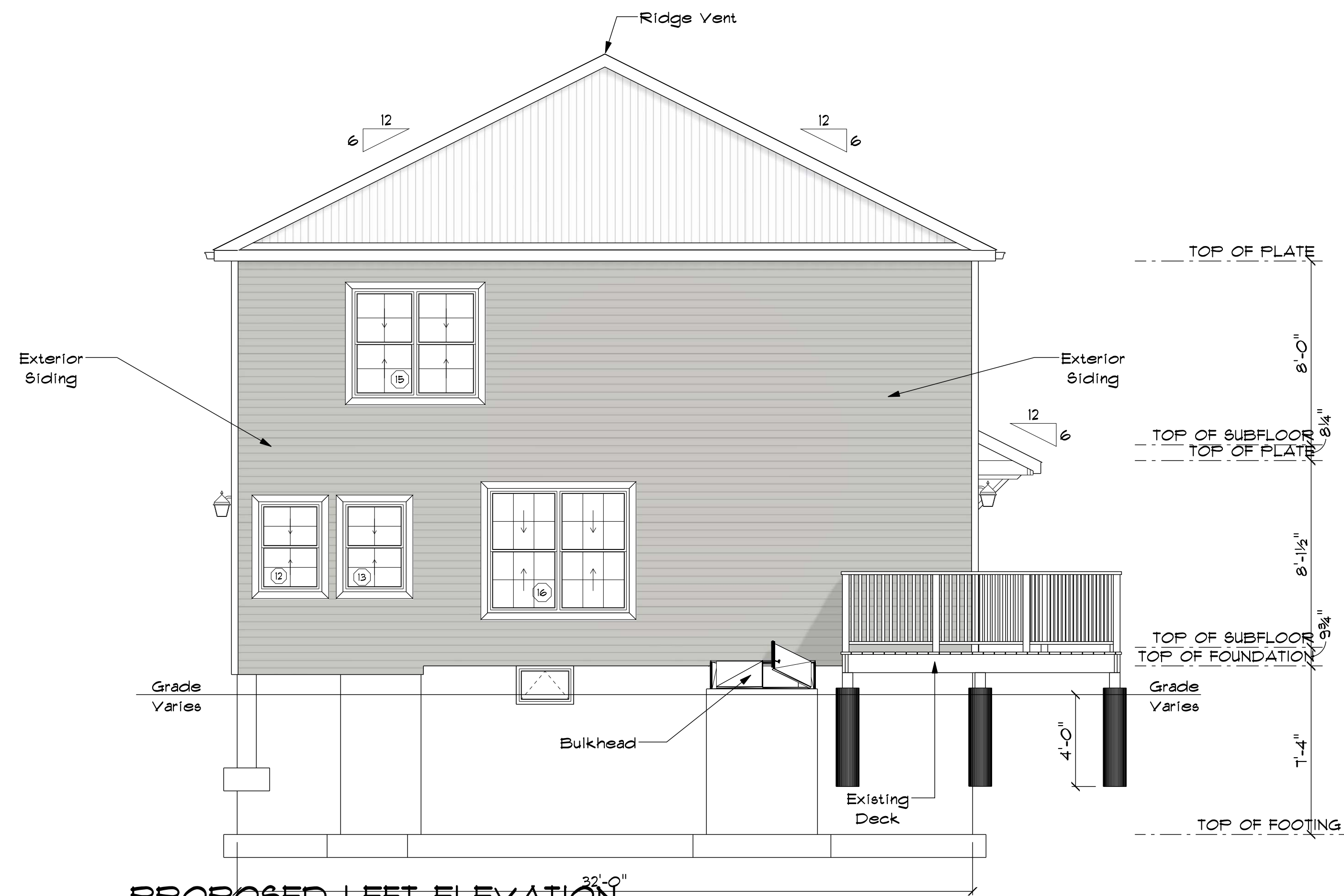
PROPOSED FRONT ELEVATION
SCALE: 1/4" = 1'-0"



PROPOSED RIGHT ELEVATION
SCALE: 1/4" = 1'-0"



PROPOSED REAR ELEVATION
SCALE: 1/4" = 1'-0"



PROPOSED LEFT ELEVATION
SCALE: 1/4" = 1'-0"

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EXTERIOR ELEVATIONS

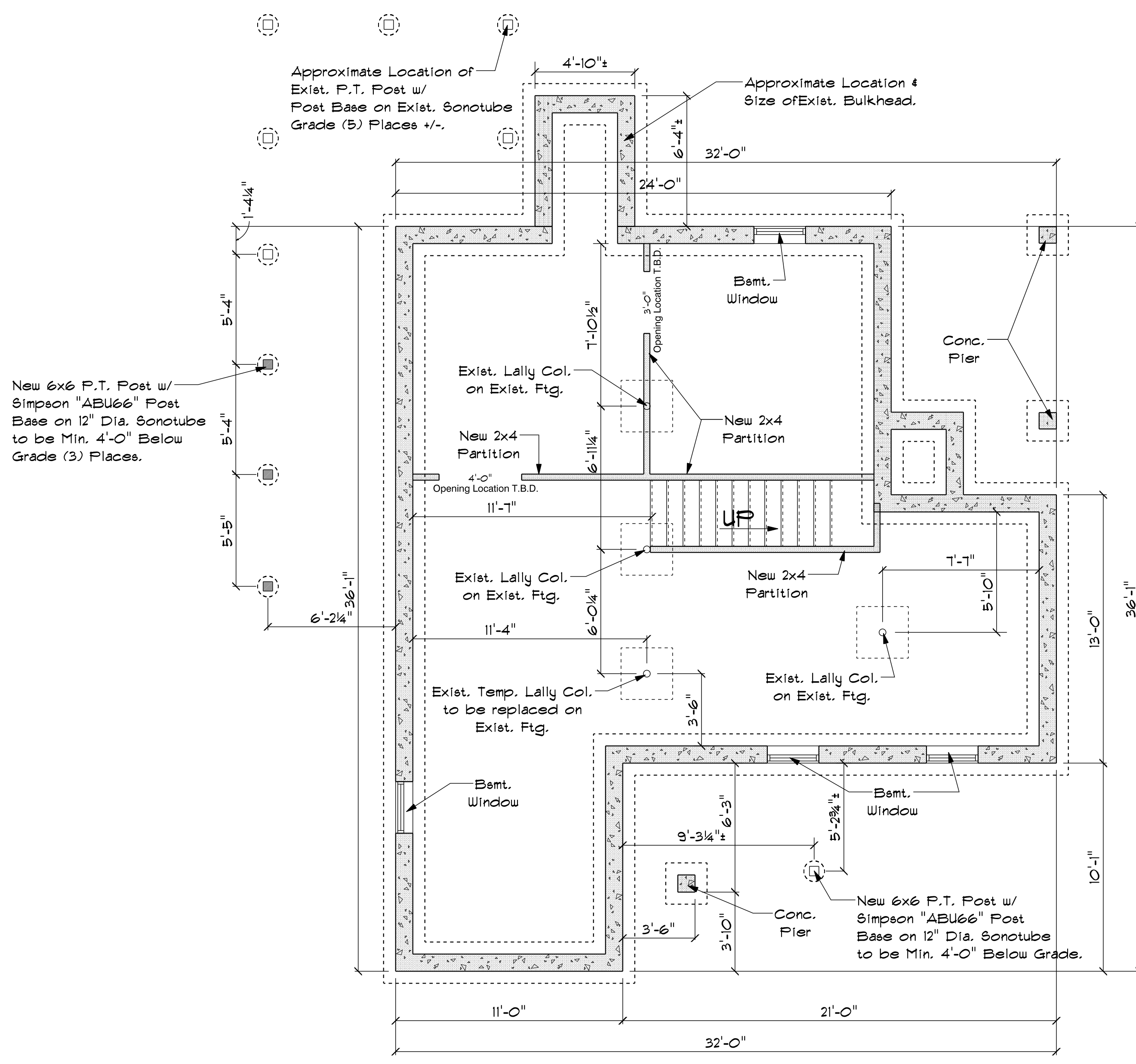
PROPOSED RENOVATION
2 Charles Street, Bldg. C, 3 Fl.
Providence, RI
PHONE: (617)981-3999
EMAIL: dou@hus.jlc
02904

SCALE: NOTED
DRAWN BY: David Packert
DATE: Thursday, October 7, 2021

SECTION LETTER
A
PAGE NUMBER
1

PLAN NUMBER:
CHECKED BY:
PAGE NUMBERS
A2

THIS DRAWING IS SCALED TO FIT 24" x 36" (ARCH D) PRINTS.
11" x 17" PRINTS ARE SCALED TO FIT.



EXIST. BASEMENT

SCALE: 1/4" = 1'-0"
Approximate Area: 870 s.f.
(Outer Bearing Edge)

OPENING SCHEDULE							
PRODUCT CODE	SIZE	HINGE	REVERSED	COUNT	OPENING ID	U-VALUE	OPENING AREA
2341	1'-11" x 3'-5"	L	NA	1	1	0.310	6.5 sq ft.
DH3357-2	5'-6" x 4'-9"	UU	NA	1	4	0.300	26.1 sq ft.
DH3357-2	5'-6" x 4'-9"	UU	NA	1	5	0.300	26.1 sq ft.
DH3357-2	5'-6" x 4'-9"	UU	NA	1	6	0.300	26.1 sq ft.
DH3347	2'-9" x 3'-11"	U	NA	1	12	0.300	10.8 sq ft.
DH3347	2'-9" x 3'-11"	U	NA	1	13	0.300	10.8 sq ft.
DH3347	2'-9" x 3'-11"	U	NA	1	14	0.300	10.8 sq ft.
DH3347	2'-9" x 3'-11"	U	NA	1	15	0.300	10.8 sq ft.
DH3765-2	6'-2" x 5'-5"	UU	NA	1	16	0.300	33.4 sq ft.
C2141-3	5'-3" x 3'-5"	NNN	NA	1	18	0.300	17.9 sq ft.
36X80 CCA230-MODIFIED	3'-0"	R	NO	1	A	0.200	22.1 sq ft.
36X80 COUNTRY A 1	3'-0"	L	NO	1	C	0.310	22.1 sq ft.
32X80 CCA230	2'-8"	L	NO	1	D	0.200	19.8 sq ft.
30X80 COLONIAL A 1	2'-6"	L	NO	1	H	0.000	18.0 sq ft.
18X80 BIFOLD COLONIAL 1	1'-6"	L	NO	1	J	0.000	10.0 sq ft.
28X80 COLONIAL A 1	2'-4"	R	NO	1	K	0.000	16.9 sq ft.
18X80 COLONIAL A 1	1'-6"	L	NO	1	M	0.000	11.3 sq ft.
30X80 COLONIAL A 1	2'-6"	L	NO	1	P	0.000	18.0 sq ft.
34X80 COUNTRY A 1-No Grilles	2'-10"	R	NO	1	S	0.310	20.9 sq ft.

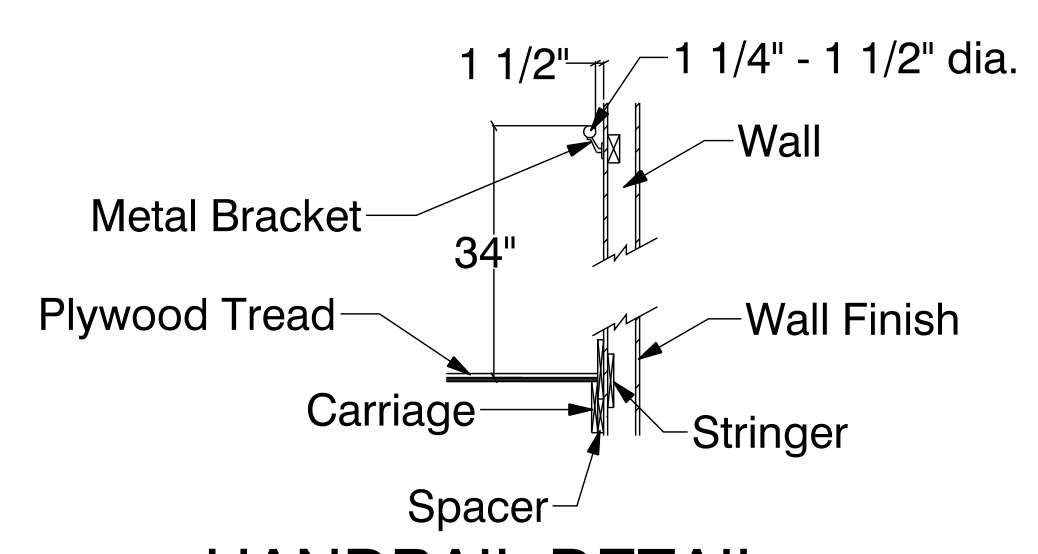
Opening Schedule to be used as reference only.

MAXIMUM SPANS FOR HEADERS LOCATED OVER OPENINGS IN WALLS

Headers in Bearing Walls				Headers in Walls not Supporting Floors or Roofs
Size of Header	Supporting Roof & Ceiling	One Story Above	Two Stories Above	
2 - 2x6	4'-0"	3'-10"	2'-9"	-
2 - 2x8	5'-1"	4'-10"	3'-6"	10'-0"
2 - 2x10	6'-6"	5'-10"	4'-3"	12'-0"
2 - 2x12	7'-6"	6'-9"	5'-0"	16'-0"

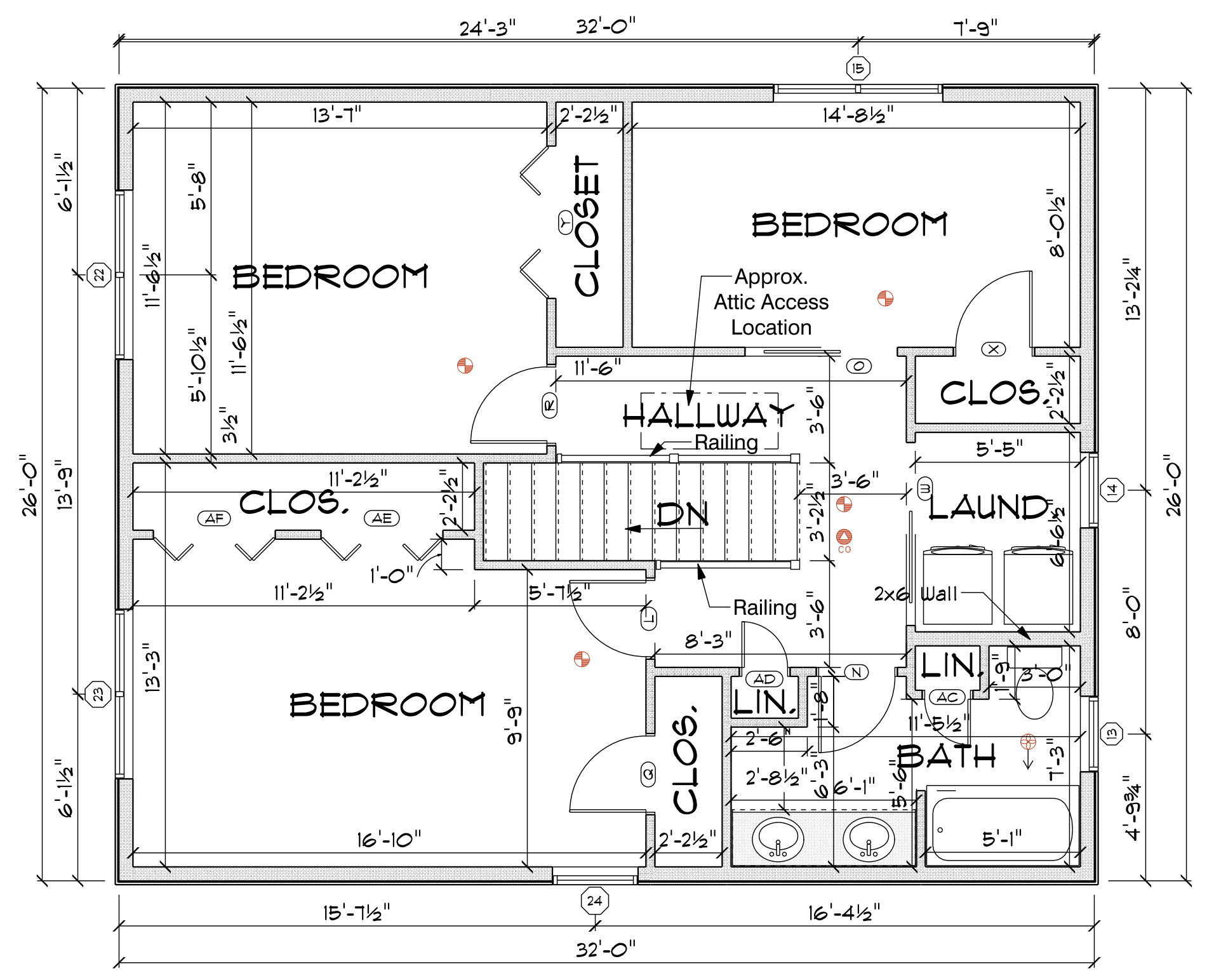
For SI: 1 inch = 25.4 mm, 1 foot = 304.8 mm
1. Nominal four inch thick singles headers may be substituted for double members

EVERY BATHROOM AND TOILET ROOM SHALL BE EQUIPPED WITH A MECHANICAL EXHAUST FAN AND ASSOCIATED DUCTWORK WITH THE FAN EXHAUSTING AS A MINIMUM, AT 50CFM IF OPERATED INTERMITTENTLY OR 20 CFM IF CONTINUOUSLY OPERATED. SUCH BATHROOM EXHAUST SHALL VENT DIRECTLY TO THE OUTSIDE AND NO EXHAUST VENT TERMINATION TO ATTICS OR OTHER INTERIOR PORTIONS OF THE BUILDING ARE ALLOWED.



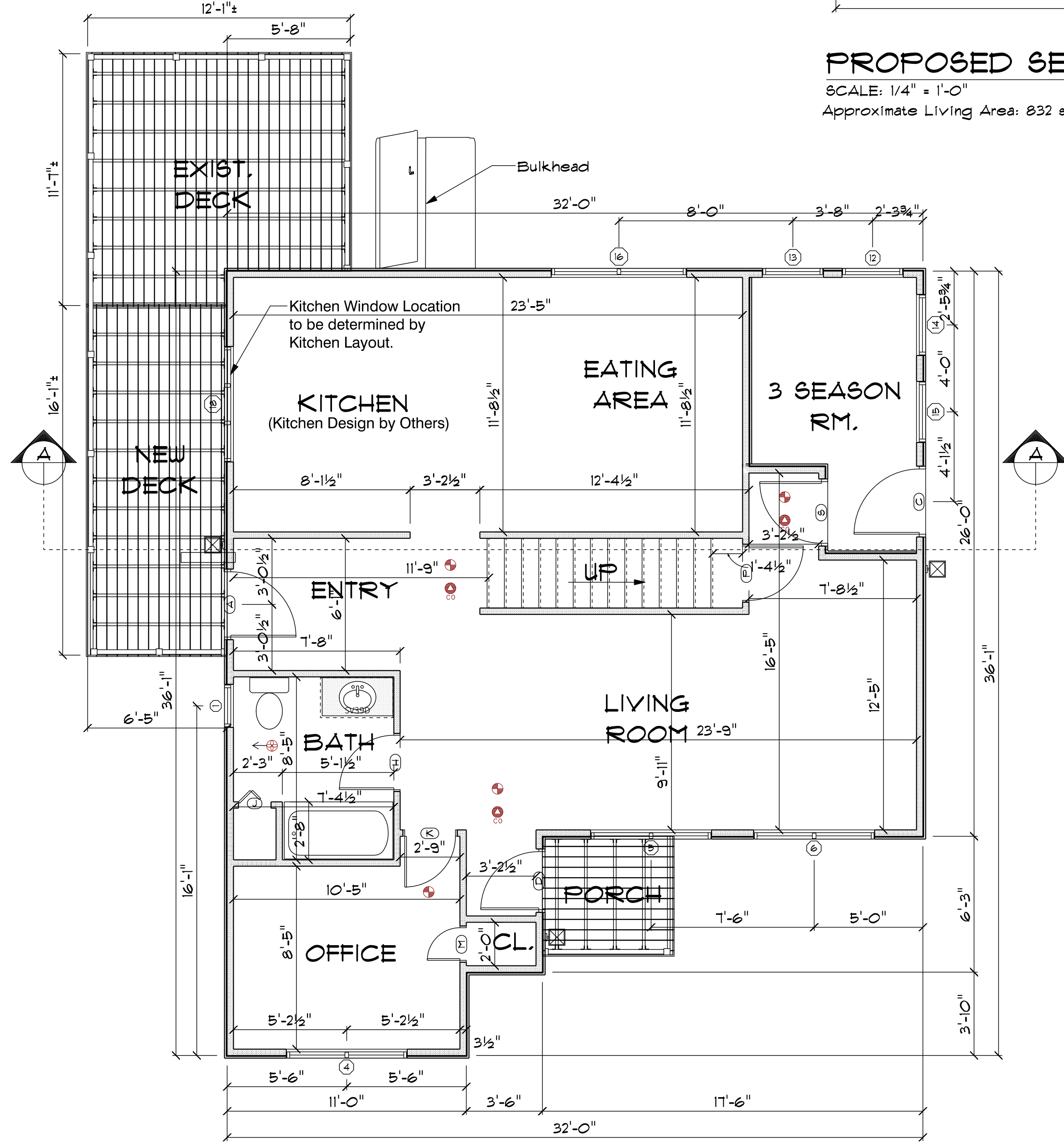
HANDRAIL DETAIL
SCALE: 1/2" = 1'0"

- ⊕ = Photo Electric Smoke Detector
- ⊙ = Carbon Monoxide Detector
- ↔ = Vent (arrow designates direction)



PROPOSED SECOND FLOOR

SCALE: 1/4" = 1'-0"
Approximate Living Area: 832 s.f.



EXIST. MAIN FLOOR

SCALE: 1/4" = 1'-0"
Approximate Living Area: 965 s.f.

PRODUCT CODE	SIZE	HINGE			COUNT	OPENING ID	U-VALUE	OPENING AREA
		REVERSED	REVERSED	REVERSED				
DH2941	2'-5" x 3'-5"	U	NA	1	13	0.300	8.3 sq ft.	
DH2941	2'-5" x 3'-5"	U	NA	1	14	0.300	8.3 sq ft.	
DH3357-2	5'-6" x 4'-9"	UU	NA	1	15	0.300	26.1 sq ft.	
DH3357-2	5'-6" x 4'-9"	UU	NA	1	22	0.300	26.1 sq ft.	
DH3357-2	5'-6" x 4'-9"	UU	NA	1	23	0.300	26.1 sq ft.	
DH3357	2'-9" x 4'-9"	U	NA	1	24	0.300	13.1 sq ft.	
30X80 COLONIAL A 1	2'-6"	R	NO	1	L	0.000	18.0 sq ft.	
30X80 COLONIAL A 1	2'-6"	R	NO	1	N	0.000	18.0 sq ft.	
30X80 COLONIAL A 1	2'-6"	N	NO	1	O	0.000	16.7 sq ft.	
30X80 COLONIAL A 1	2'-6"	L	NO	1	Q	0.000	18.0 sq ft.	
30X80 COLONIAL A 1	2'-6"	L	NO	1	R	0.000	18.0 sq ft.	
36X80 COLONIAL POCKET 1	3'-0"	N	NO	1	W	0.000	20.0 sq ft.	
30X80 COLONIAL A 1	2'-6"	R	NO	1	X	0.000	18.0 sq ft.	
60X80 BIFOLD COLONIAL 2	5'-0"	LR	NO	1	Y	0.000	33.3 sq ft.	
18X80 COLONIAL A 1	1'-6"	L	NO	1	AC	0.000	11.3 sq ft.	
18X80 COLONIAL A 1	1'-6"	L	NO	1	AD	0.000	11.3 sq ft.	
48X80 BIFOLD COLONIAL 2	4'-0"	LR	NO	1	AE	0.000	26.7 sq ft.	
48X80 BIFOLD COLONIAL 2	4'-0"	LR	NO	1	AF	0.000	26.7 sq ft.	

Opening Schedule to be used for reference only.

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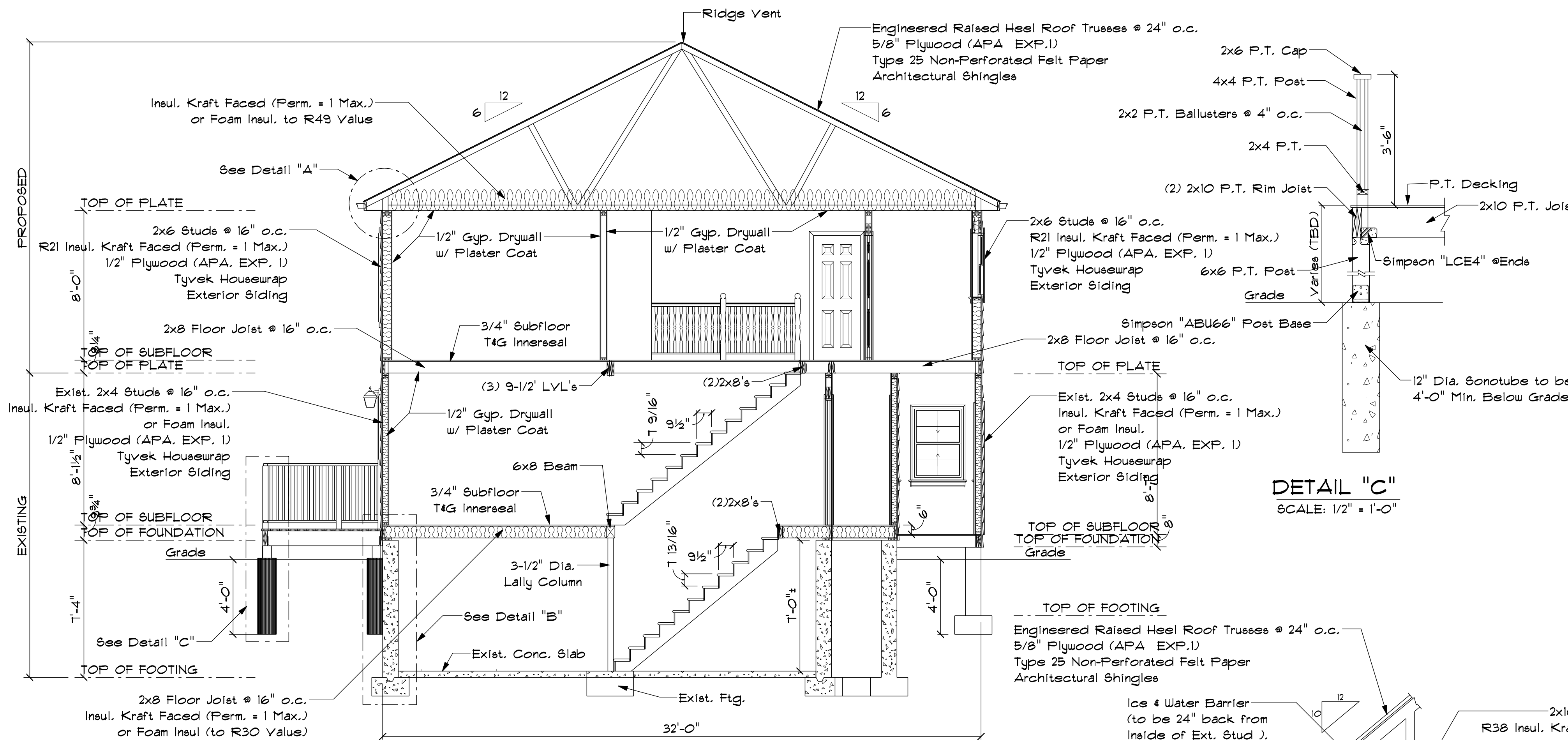
PROPOSED RENOVATION
2 Charles Street Bldg., C. 3 Fl., Providence RI
PHONE: (617)981-3999
EMAIL: dou@hus.ilc 02904

FOUNDATION, NOTES
FLOOR PLANS &
SCHEDULES

SCALE: NOTED
DRAWN BY: David Packert
DATE: Friday, October 8, 2021

SECTION LETTER: A
PAGE NUMBER: 1

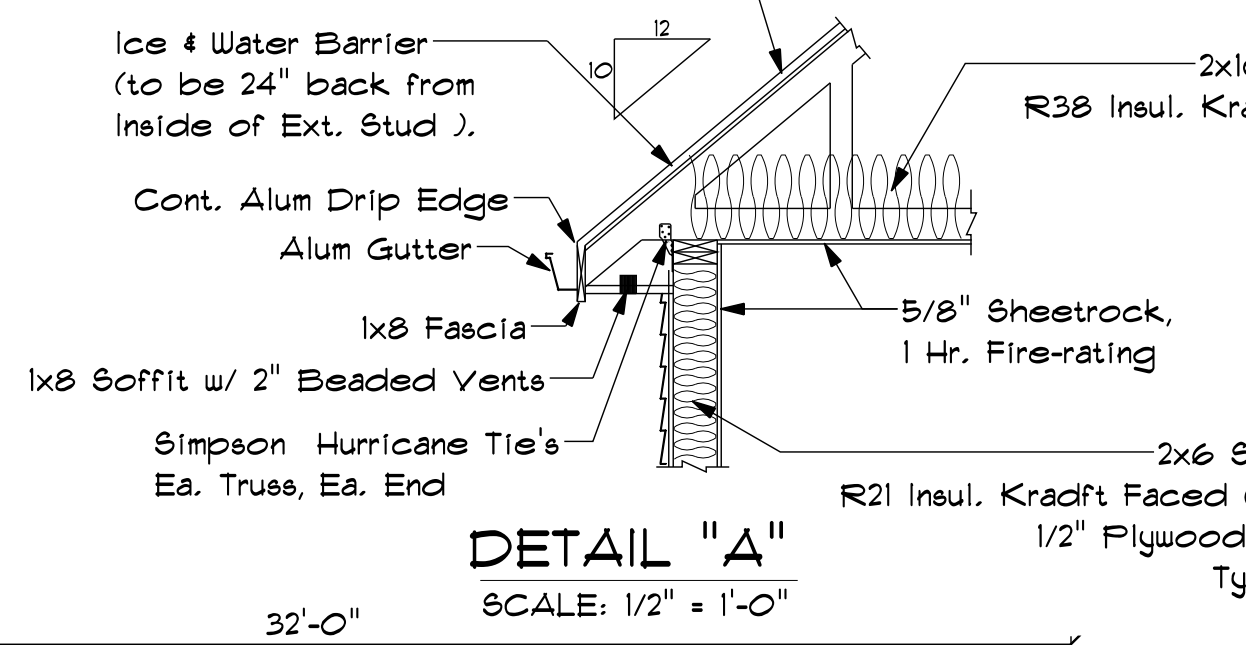
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CHECKED BY: [blank]
PAGE NUMBERS: [blank]



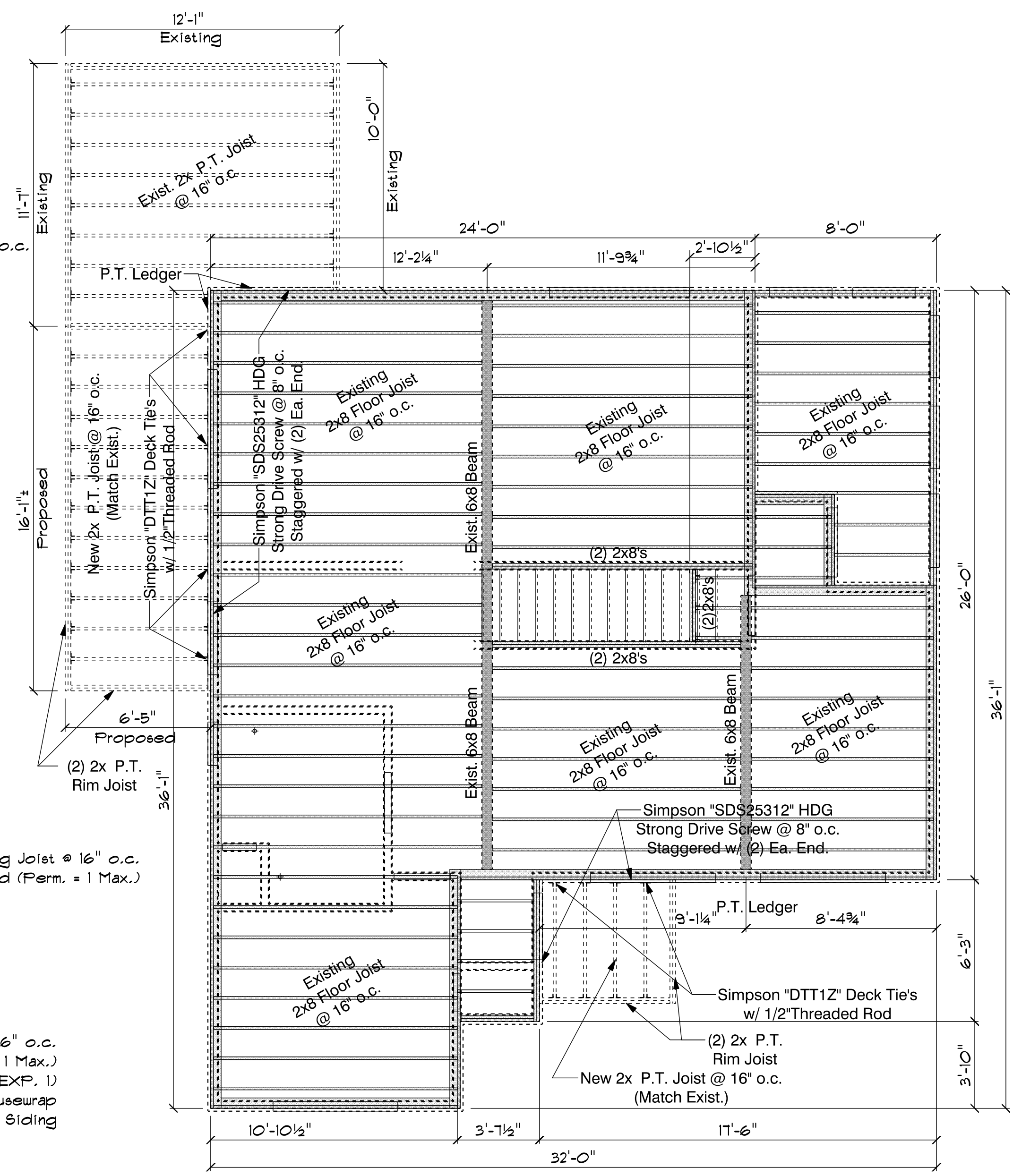
CROSS SECTION A
SCALE: 1/4" = 1'-0"

- STRUCTURAL NOTES:**
1. Include all bracing, blocking, anchors, fasteners, etc. required for installation.
 2. Laminated wood members - LVL or equiv. (Fb 3100 Psl & E=2,100,000 Psl).
 3. Framing Lumber - SPF #2 or equiv. (Fb 875 Psl & E=1,400,000 Psl).
 4. Plywood where edges are exposed to weather = APA exposure 1.
 5. All wood in contact with earth, concrete or masonry shall be preservative treated.
 6. All metal hangers, joists, anchors, etc. to be Simpson or equal.
 7. Typical Floor Construction:
3/4" T&G plywood Sturd - 1 - Floor or Advantec placed perpendicular to intermediate members glued and nailed with 8d ring shank nails at 12" o.c. to supporting members and 6" o.c. at edges. Each Sturd - 1 - Floor panel shall have an 1/8" gap all around.
 8. Provide fire stooping in all stud spaces, openings, etc., where they meet floors, ceilings, and other horizontal cavities.
 9. Provide all blocking, supports, etc. as required by mechanical, plumbing, electrical, fire protection, etc. where necessary.
 10. Provide all blocking in walls, supports, etc. as required for cabinets, counters, equipment provided by others, as necessary.

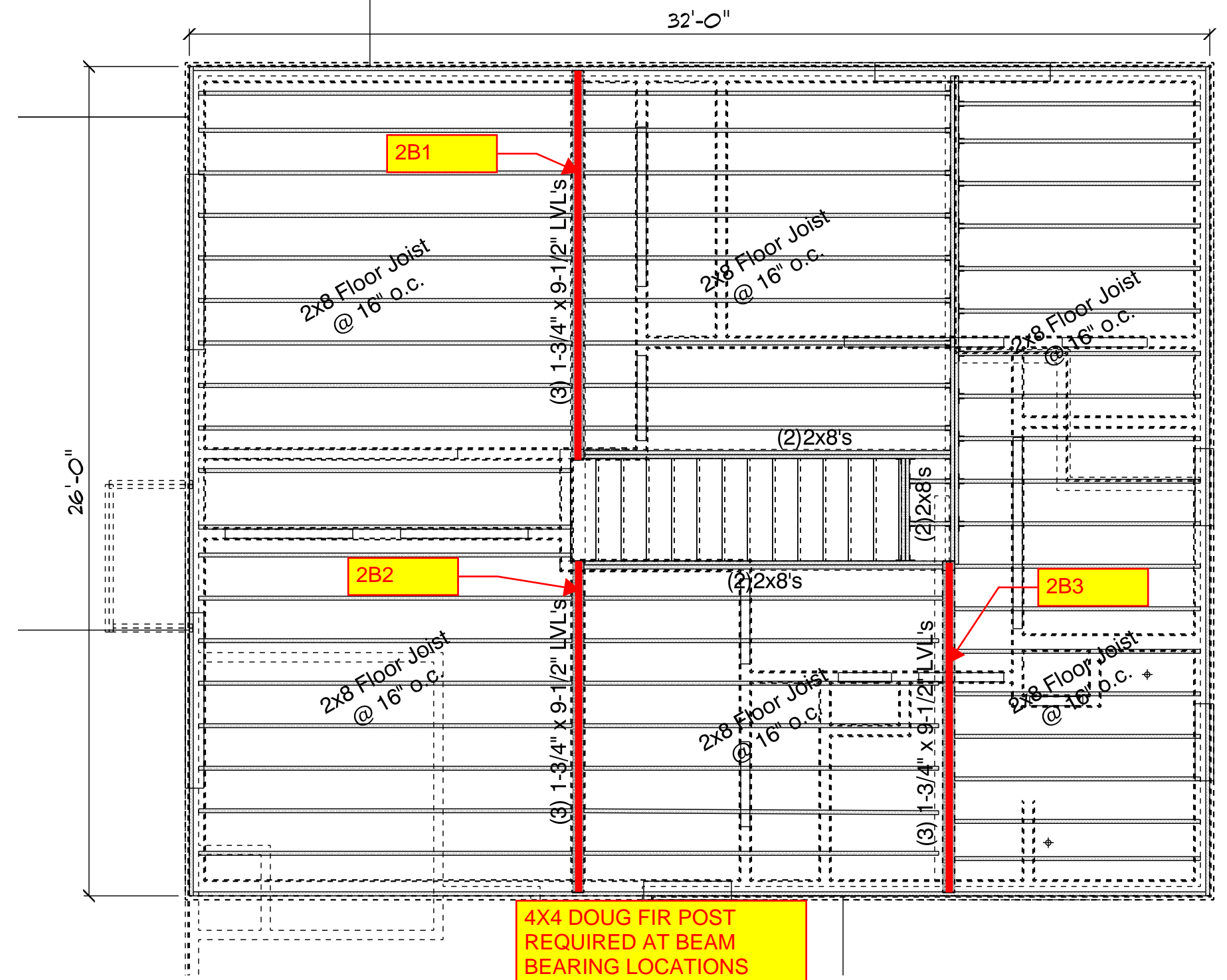
DETAIL "C"
SCALE: 1/2" = 1'-0"



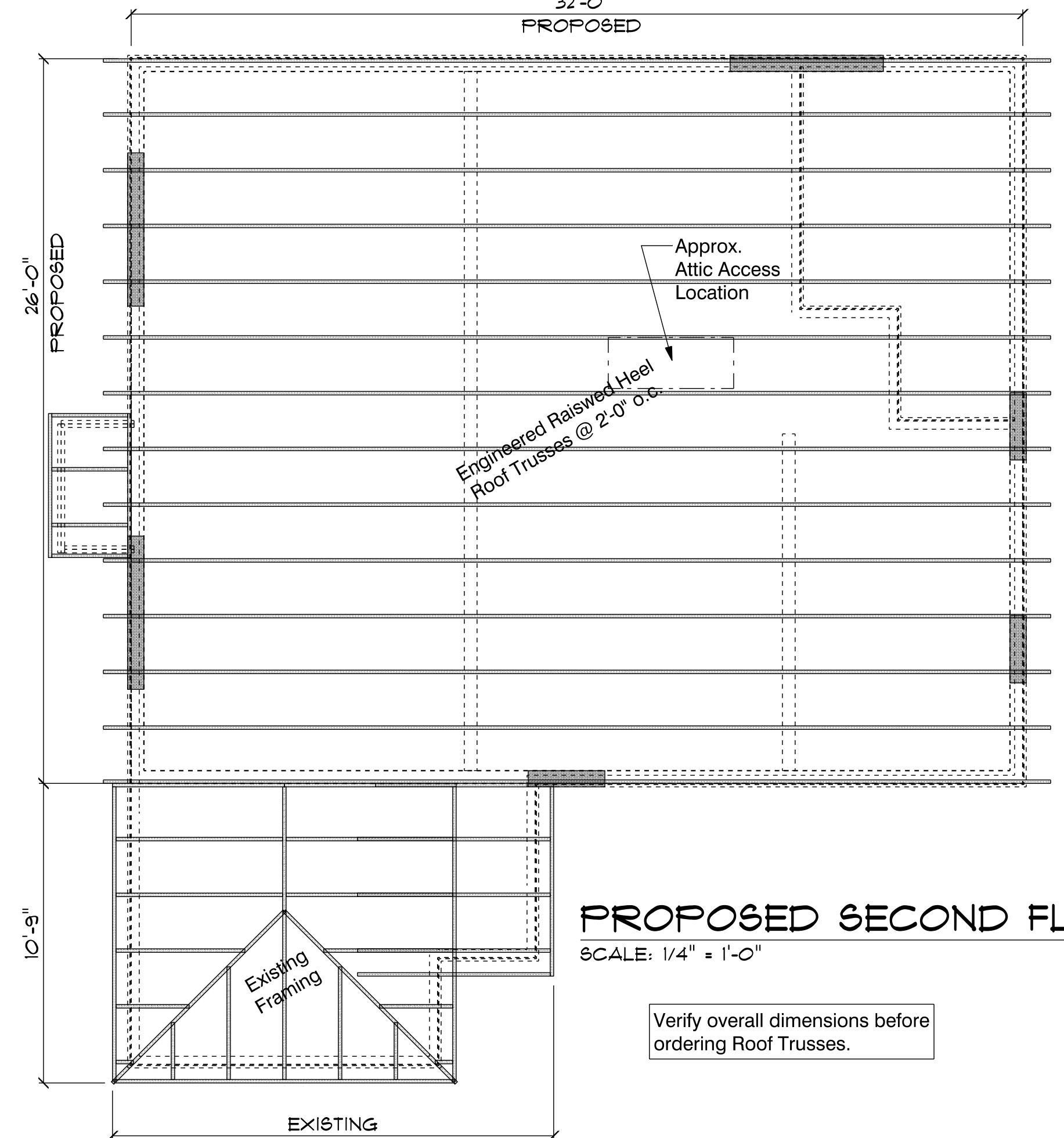
DETAIL "A"
SCALE: 1/2" = 1'-0"



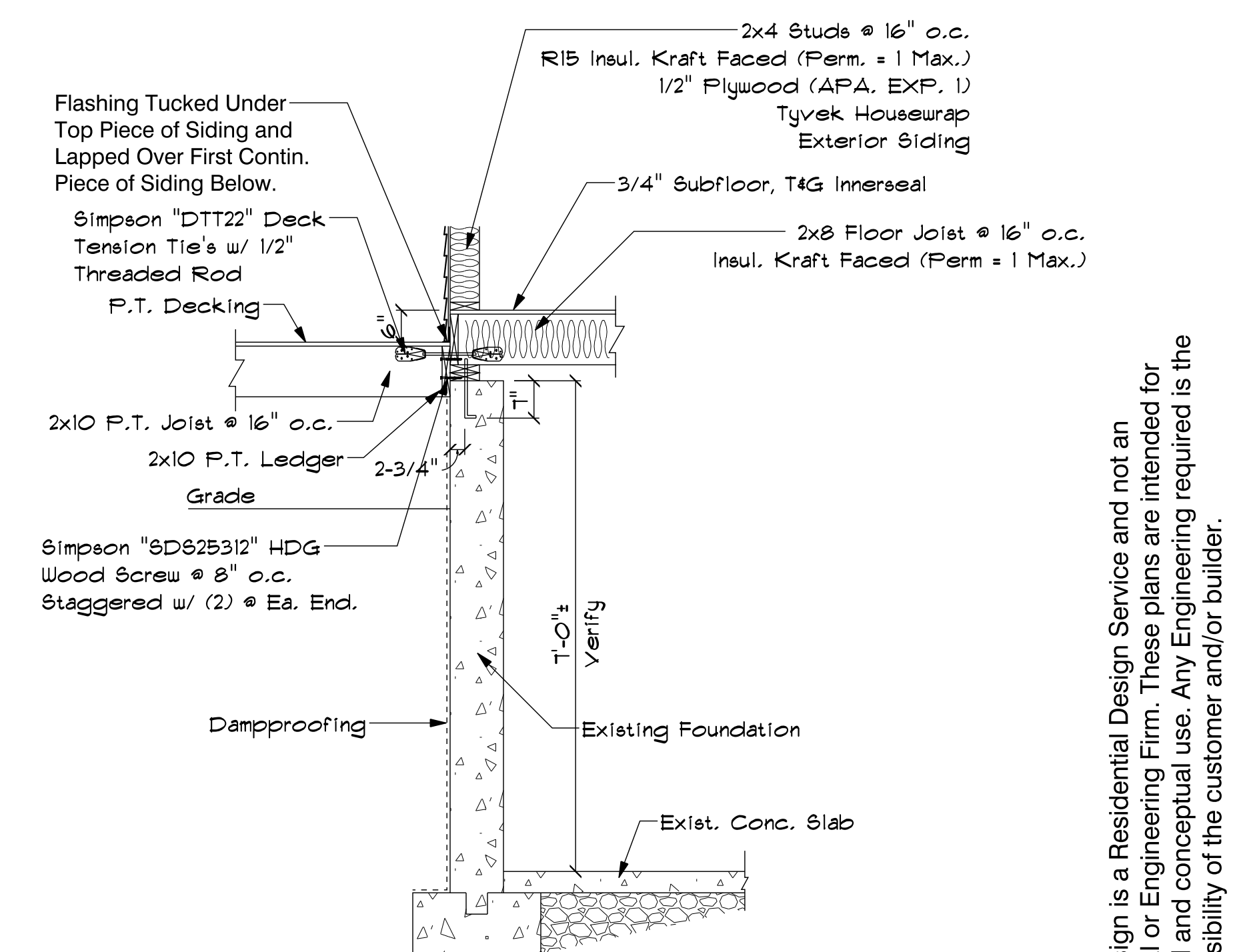
MAIN FLOOR - FLOOR SYSTEM
SCALE: 1/4" = 1'-0"



PROPOSED SECOND FLOOR - FLOOR SYSTEM
SCALE: 1/4" = 1'-0"



PROPOSED SECOND FLOOR - ROOF
SCALE: 1/4" = 1'-0"



DETAIL "B"
SCALE: 1/2" = 1'-0"

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CROSS-SECTION, FRAMING, NOTES & DETAILS

PROPOSED RENOVATION
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Providence RI
PHONE: (617)981-3999
EMAIL: dou@hus.ic 02904

SCALE: NOTED
DRAWN BY: David Packert
DATE: Thursday, October 7, 2021

SECTION LETTER
PLAN NUMBER:
PAGE: A4
CHECKED BY:
PAGE NUMBERS:

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